

Site Plans

Issued for: **Final Level PUD Approval**

Date Issued: November 25, 2009

Latest Issue: November 25, 2009

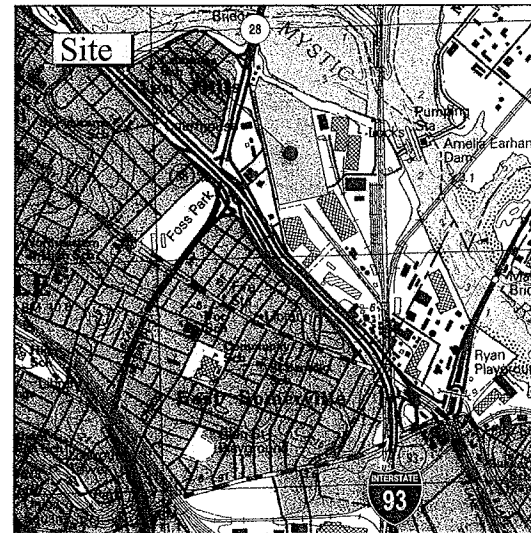
Sheet Index

Number	Drawing Title	Latest Issue
C-1	Legend and General Notes	11/25/2009
C-2	Overall Site Plan 1	11/25/2009
C-3	Overall Site Plan 2	11/25/2009
C-4	Proposed Conditions Plan	11/25/2009
C-5	Site Details	11/25/2009

Reference Drawings

Number	Drawing Title	Latest Issue
SV-1	Existing Condition Plan of Land	2/5/2007

Assembly on the Mystic Marketplace Gateway Improvements Assembly Square Drive (Phase 1-AAA) Somerville, Massachusetts



Site Location Map

Property Owners

Federal Realty



Owner/Applicant:

FR Sturtevant Street, LLC
1626 East Jefferson Street
Rockville, MD 20852
(P) 301-998-8100

GOODWIN PROCTER

Goodwin Procter LLP
Exchange Place
53 State Street
Boston, MA 02109-2881
(P) 617-570-1000

Street-Works
Development & Consulting Group



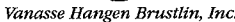
A Division of PEG/Park LLC
30 Glenn Street
White Plains, NY 10603
914.949.6505



Vanasse Hangen Brustlin, Inc.
Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286





101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.228

Notes:

General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EXIST	EXISTING
FOUNDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
IGTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NITS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWELL	SOLID WHITE EDGE LINE
SWL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
IP	CAST IRON PIPE
COND	CONDUIT
IIP	DUCTILE IRON PIPE
EES	FLARED END SECTION
M	FORCE MAIN
&G	FRAME AND GRATE
&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
IV	INVERT ELEVATION
=	INVERT ELEVATION
P	LIGHT POLE
IES	METAL END SECTION
WW	PAVED WATER WAY
VC	POLYVINYLCHLORIDE PIPE
CP	REINFORCED CONCRETE PIPE
=	RIM ELEVATION
SMH	SEWER MANHOLE
SV	TAPPING SLEEVE, VALVE AND BOX
G	UNDERGROUND
P	UTILITY POLE

Existing Conditions Information

1. THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN APRIL OF 2004 AND FROM DEEDS OF RECORD.
2. THE EXISTING CONDITIONS SHOWN ON THIS PLAN WERE DEVELOPED FROM A COMBINED EFFORT OF AERIAL PHOTOGRAMMETRIC MAPPING BY COLE EAST, INC. BASED ON AERIAL PHOTOGRAPHS TAKEN ON MARCH 2006, AND AUGMENTED BY AN ON-THE-GROUND SURVEY PERFORMED BY WHR DURING APRIL 2008.
3. UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
4. ELEVATIONS SHOWN ARE BASED UPON USGS, NATIONAL GEODETIC VERTICAL DATUM 1988, AND WERE INITIATED AT BENCHMARK #1000, A MASSACHUSETTS GEODETIC SURVEY DSC.
5. THE WETLANDS SHOWN ON THIS PLAN WERE FLAGGED BY VANASSE HANGEN BRUSTLIN, INC.'S ENVIRONMENTAL GROUP AND FIELD SURVEYED BY WHR, INC. ON JUNE 22, 2004.
6. THE LOCUS PROPERTY LIES WITHIN ZONE C, AREA OF UNIFORM FLOODING, AS SHOWN ON THE FLOOD INSURANCE RATE MAP OF THE CITY OF SOMERVILLE, MASSACHUSETTS COMMUNITY PANEL NUMBER 250214 0001 B, EFFECTIVE DATE JULY 17, 1988.

2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.

1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURB RADI ARE THREE FEET UNLESS OTHERWISE NOTED.
3. CURBING SHALL BE PRECAST CONCRETE CURB (PCQ) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
4. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
5. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
6. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.

1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES, AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TEN HOURS AFTER EACH SLOPE EVENT AND DRAINAGE OF SEDIMENTS IN AN UPSTREAM DITCH SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TEN (10) DAYS BEFORE THEY ARE COVERED, SEED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Final Level PUD Approval

Legend and General Notes

Project Number
08518.05

Description	Size		Office	Retail	Restaurant	Residential	Hotel	Cinema	IKEA		Mall
	Required	Provided	Required	Required	Required	Required	Required	Required	Provided	Required	Provided
STANDARD SPACES	9' x 18'	9' x 18'	1,751	313	237	2,058	76	60	332	996	1,038
STANDARD ACCESSIBLE SPACES*	12' x 18'	14' x 18'	23	7	6	28	3	2	6	28	17
VAN ACCESSIBLE SPACES*	16' x 18'	17' x 18'	5	1	1	5	1	1	2	12	4
TOTAL SPACES			1,779	321	244	2,093	80	63	340	1,287	1,104
LOADING BAYS**	12' x 30' x 14'	12' x 30' x 14'	13	10	4	-	1	1	9	9	15

* ADA/STATE/LOCAL REQUIREMENTS
** INCLUDES 251 COMPACT SPACES (9' x 17')

Mixed Use Area Loading Requirements: **

OFFICE:	0 - 10,000 SF	(0)	= 13
	10,001 - 100,000 SF	(1)	
	EACH ADDL. 100,000 SF	(1)	
RETAIL:	0 - 5,000 SF	(0)	= 10
	5,001 - 20,000 SF	(1)	
	20,001 - 35,000 SF	(2)	
	35,001 - 50,000 SF	(3)	
	EACH ADDL. 50,000 SF	(1)	
RESTAURANT:	0 - 4,000 SF	(0)	= 4
	4,001 - 6,000 SF	(1)	
	6,001 - 16,000 SF	(2)	
	16,001 - 40,000 SF	(3)	
	EACH ADDL. 40,000 SF	(1)	
HOTEL:	AS NEEDED		= 1
CINEMA:	AS NEEDED		= 1

TOTAL LOADING REQUIRED = 29
TOTAL LOADING PROVIDED = 29

Mixed Use Area Parking Requirements: *

OFFICE	1,776,809 SF x 1 SPACE / 1,000 SF = 1,779
RETAIL	320,735 SF x 1 SPACE / 1,000 SF = 321
RESTAURANT	121,701 SF x 1 SPACE / 500 SF = 244
CINEMA	62,350 SF x 1 SPACE / 1,000 SF = 63
RESIDENTIAL	2,099 UNITS x 1 SPACE / UNIT = 2,099
HOTEL	160 GUEST ROOMS x 0.5 SPACES / GUEST ROOM = 80

TOTAL PARKING REQUIRED = 4,586
TOTAL PARKING PROVIDED = 7,650

IKEA Parking Requirements: *

RETAIL	340,000 SF x 1 SPACE / 1,000 SF = 340
TOTAL PARKING REQUIRED = 340	
TOTAL PARKING PROVIDED = 1,287	

Mall Parking Requirements: *

RETAIL (20%ING)	328,806 SF x 1 SPACE / 1,000 SF = 329
RETAIL (LEASE)	328,806 SF x 3.22 SPACE / 1,000 SF = 1,059
TOTAL PARKING REQUIRED = 1,059	
TOTAL PARKING PROVIDED = 1,104	

Zoning Summary Chart

Zoning District(s): Assembly Square Mixed-Use District (ASM-UD)
Overlay District(s): Planned Unit Development Overlay District A (PUD-A), Waterfront Overlay District

Zoning Regulation Requirements	Required	Provided
MIN. LOT AREA	20,000 SF	63.1+ AC
FRONT YARD SETBACK	NO MINIMUM	0 FT
SIDE YARD SETBACK	NO MINIMUM	12 FT
REAR YARD SETBACK	NO MINIMUM	25+ FT
MAX. FLOOR AREA RATIO	10.0	2.0
MAX. BUILDING HEIGHT	NONE	NONE
< 150' OF MYSTIC RIVER BANK	70 FT	70 FT
BETWEEN 150' AND 250'	80 FT	80 FT
BETWEEN 250' AND 350'	250 FT	250 FT
WITHIN 1,000' OF MBTA ENTRANCE	125 FT	100 FT
ALL OTHER LOCATIONS	25%	28.5%
TOTAL OPEN SPACE	12.5%	15.7%
USEABLE OPEN SPACE	12.5%	15.7%

Parking Summary Chart

Size	Office	Retail	Restaurant	Residential	Hotel	Cinema	IKEA	Mall
Required	Required	Required	Required	Required	Required	Required	Required	Required
Provided	Provided	Provided	Provided	Provided	Provided	Provided	Provided	Provided

IKEA Loading Requirements: **

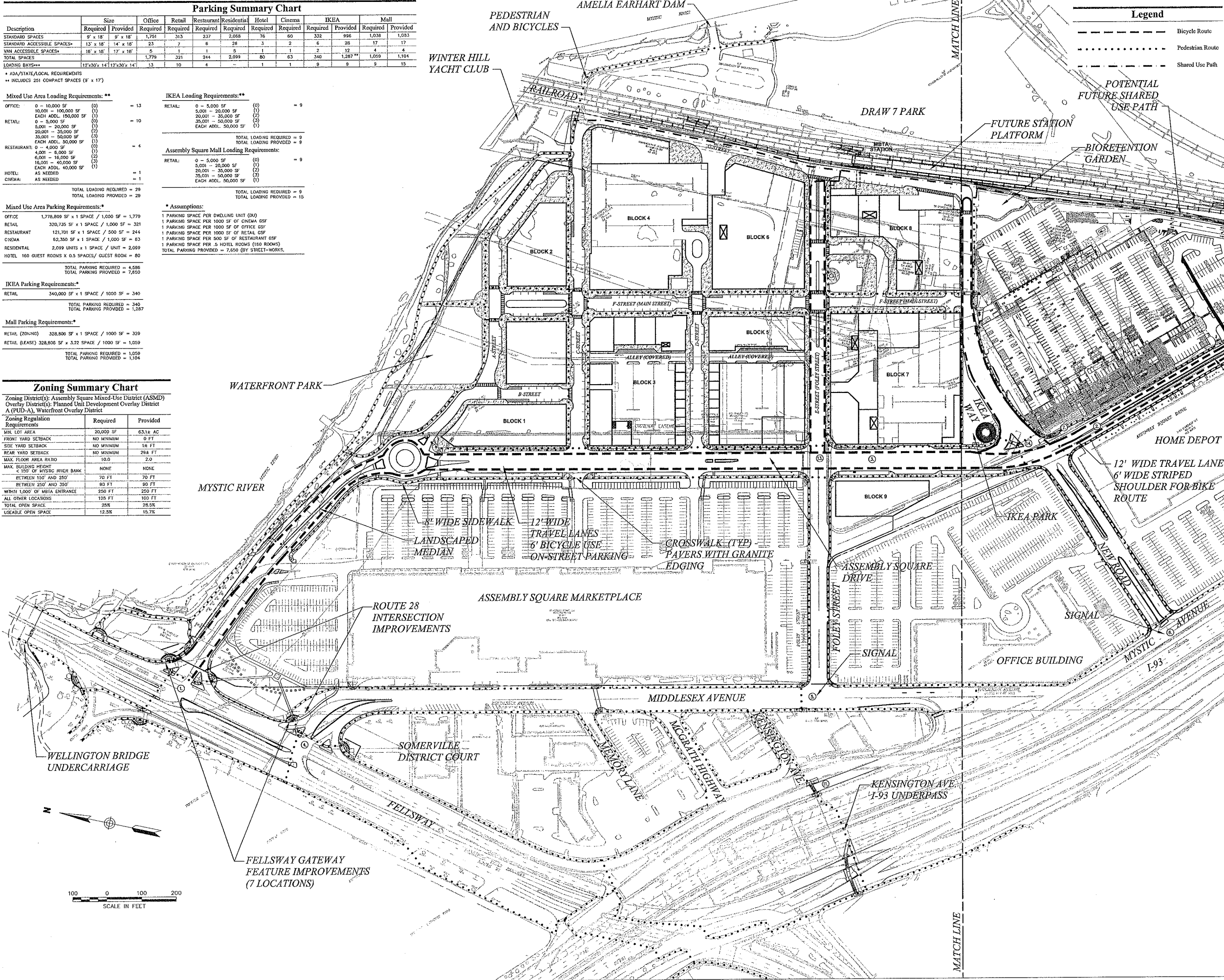
RETAIL:	0 - 5,000 SF	(0)	= 9
	5,001 - 20,000 SF	(1)	
	20,001 - 35,000 SF	(2)	
	35,001 - 50,000 SF	(3)	
	EACH ADDL. 50,000 SF	(1)	
TOTAL LOADING REQUIRED = 9			
TOTAL LOADING PROVIDED = 9			

Assembly Square Mall Loading Requirements: *

RETAIL:	0 - 5,000 SF	(0)	= 9
	5,001 - 20,000 SF	(1)	
	20,001 - 35,000 SF	(2)	
	35,001 - 50,000 SF	(3)	
	EACH ADDL. 50,000 SF	(1)	
TOTAL LOADING REQUIRED = 9			
TOTAL LOADING PROVIDED = 15			

* Assumptions:

- 1 PARKING SPACE PER DWELLING UNIT (DU)
- 1 PARKING SPACE PER 1,000 SF OF CINEMA GSF
- 1 PARKING SPACE PER 1,000 SF OF OFFICE GSF
- 1 PARKING SPACE PER 1,000 SF OF RETAIL GSF
- 1 PARKING SPACE PER 500 SF OF RESTAURANT GSF
- 1 PARKING SPACE PER 5 HOTEL ROOMS (100 ROOMS)
- TOTAL PARKING PROVIDED = 7,650 (BY STREET-WORKS)



Legend

---	Bicycle Route
---	Pedestrian Route
---	Shared Use Path



Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286

Rev	Revision	Date	Appr
1	Design by MVE	November 25, 2009	
2	Check by MVE		
3	Drawn by MVE		
4	Checked by MVE		
5	Approved by MVE		

Assembly on the Mystic
Marketplace Gateway
Improvements
Assembly Square Drive
Somerville, Massachusetts

Final Level PUD Approval

Not Approved for Construction
Drawing Title

Overall Site Plan 1



C-2

Sheet 2 of 5

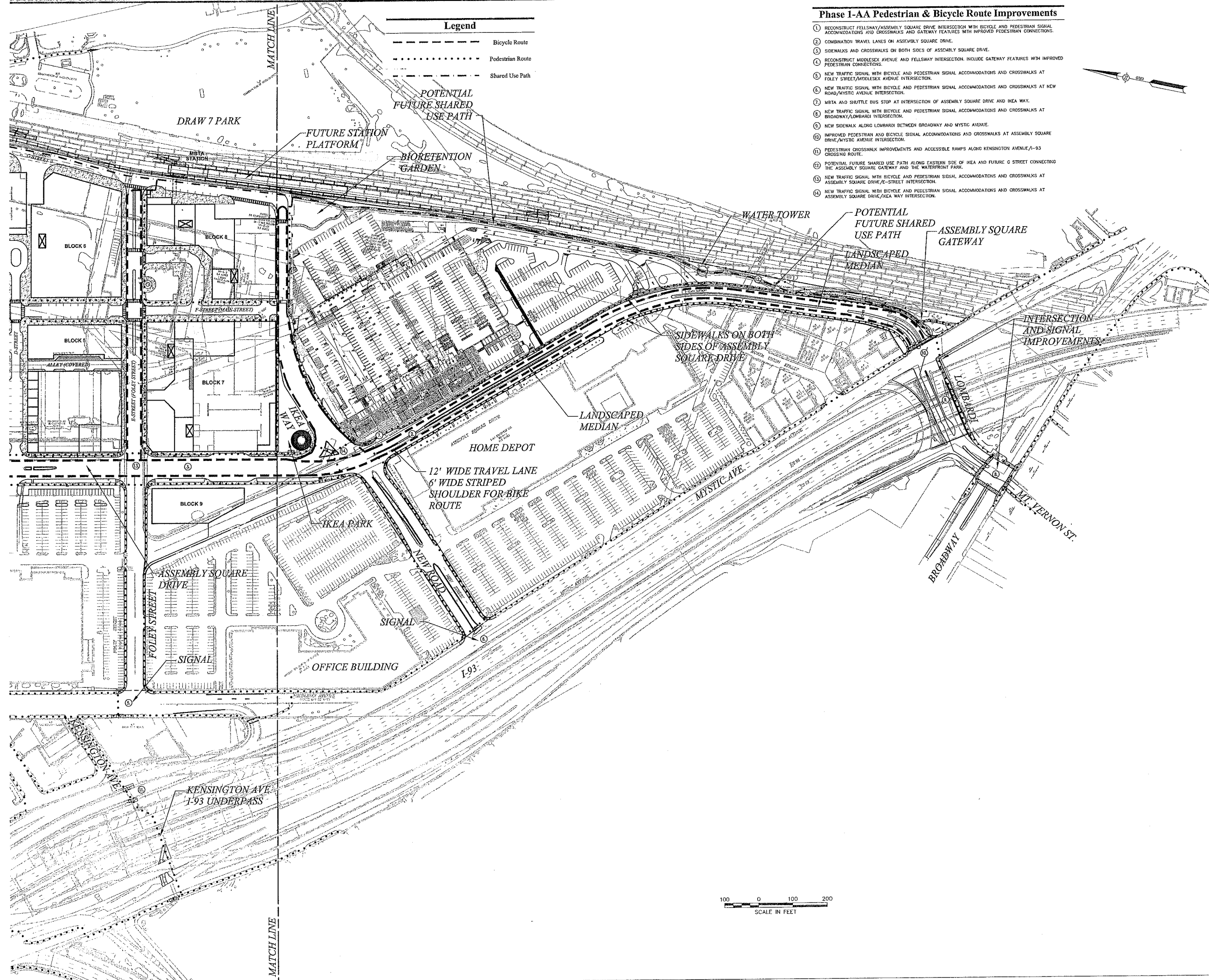
Project Number
08518.05

0851805-05P-DWG



101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286

- ① RECONSTRUCT FELLOWSHIP/ASSEMBLY SQUARE DRIVE INTERSECTION WITH BICYCLE AND PEDESTRIAN SIGNAL ACCOMMODATIONS AND CROSSWALKS AND GATEWAY FEATURES WITH IMPROVED PEDESTRIAN CONNECTIONS.
- ② COMBINATION TRAVEL LANES ON ASSEMBLY SQUARE DRIVE.
- ③ SIDEWALKS AND CROSSWALKS ON BOTH SIDES OF ASSEMBLY SQUARE DRIVE.
- ④ RECONSTRUCT MIDDLESEX AVENUE AND FELLOWSHIP INTERSECTION. INCLUDE GATEWAY FEATURES WITH IMPROVED PEDESTRIAN CONNECTIONS.
- ⑤ NEW TRAFFIC SIGNAL WITH BICYCLE AND PEDESTRIAN SIGNAL ACCOMMODATIONS AND CROSSWALKS AT FOLEY STREET/MIDDLESEX AVENUE INTERSECTION.
- ⑥ NEW TRAFFIC SIGNAL WITH BICYCLE AND PEDESTRIAN SIGNAL ACCOMMODATIONS AND CROSSWALKS AT NEW ROAD/MYSTIC AVENUE INTERSECTION.
- ⑦ MBTA AND SHUTTLE BUS STOP AT INTERSECTION OF ASSEMBLY SQUARE DRIVE AND IEKA WAY.
- ⑧ NEW TRAFFIC SIGNAL WITH BICYCLE AND PEDESTRIAN SIGNAL ACCOMMODATIONS AND CROSSWALKS AT BROADWAY/LONGBARD INTERSECTION.
- ⑨ NEW SIDEWALK ALONG LONGBARD BETWEEN BROADWAY AND MYSTIC AVENUE.
- ⑩ IMPROVE PEDESTRIAN AND BICYCLE SIGNAL ACCOMMODATIONS AND CROSSWALKS AT ASSEMBLY SQUARE DRIVE/IEKA WAY INTERSECTION.
- ⑪ PEDESTRIAN CROSSWALK IMPROVEMENTS AND ACCESSIBLE RAMPS ALONG KENSINGTON AVENUE/P-3 CROSSING ROUTE.
- ⑫ POTENTIAL FUTURE SHARED USE PATH ALONG EASTERN SIDE OF IEKA AND FUTURE G STREET CONNECTING THE ASSEMBLY SQUARE GATEWAY AND THE WATERFRONT PARK.
- ⑬ NEW TRAFFIC SIGNAL WITH BICYCLE AND PEDESTRIAN SIGNAL ACCOMMODATIONS AND CROSSWALKS AT ASSEMBLY SQUARE DRIVE/E STREET INTERSECTION.
- ⑭ NEW TRAFFIC SIGNAL WITH BICYCLE AND PEDESTRIAN SIGNAL ACCOMMODATIONS AND CROSSWALKS AT ASSEMBLY SQUARE DRIVE/E STREET INTERSECTION.

[illegible]

Not Approved for Construction

Overall Site Plan 2



Steel 3 5

Project Number
08518.05

0851505-0820W

PLANT LIST				
QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE
5	ZS	ZELKOVA GERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	4-4 1/2" CAL
21	CK	CORNUS KOUSA - MULTISTEM	KOUSA DOGWOOD	2'-1 1/2' HT.
PERENNIALS				
324	HH	HEDERA HELIX 'BALTICA'	BALTIC Ivy	1' POT

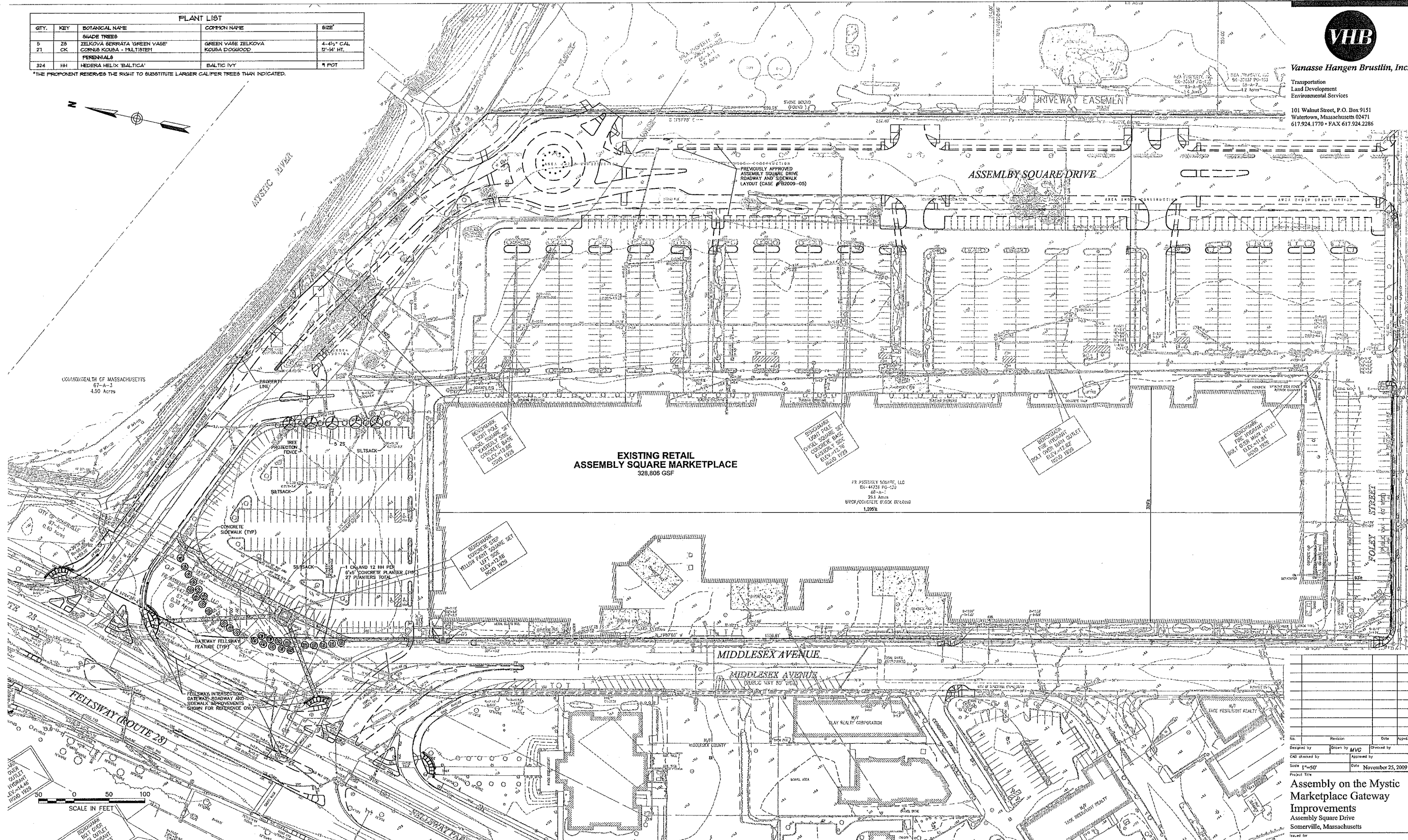
*THE PROPONENT RESERVES THE RIGHT TO SUBSTITUTE LARGER CALIBER TREES THAN INDICATED.



Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286



No.	Revision	Date	By
1	Design by	Drawn by	Checked by
2	CAD checked by	Approved by	
3	Scale 1"=50'	Date	November 25, 2009
4	Project Title		

Assembly on the Mystic
Marketplace Gateway
Improvements
Assembly Square Drive
Somerville, Massachusetts

Final Level PUD Approval

Not Approved for Construction
Drawing Title

Proposed Conditions Plan

Drawing Number

C-4

Sheet 4 of 5

Project Number 0818.05

081805-1-M.DWG

Landscape Notes

1. ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
3. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNERS REPRESENTATIVE OF ANY CONFLICT.
4. A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
5. ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.

6. SET ROOT FLARE 2" ABOVE FINISH GRADE. TO DETERMINE THE TRUE HEIGHT OF THE ROOT BALL THAT IS UNRAPPED IN BURLAP, REMOVE THE TWINE AND BURLAP AT THE TOP OF THE ROOT BALL, CAREFULLY REMOVE SOIL AWAY FROM THE TREE TRUNK UNTIL YOU FIND THE POINT OF THE ROOT FLARE. GRAFTS SHALL BE SET ABOVE FINISH GRADE.
7. FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
8. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
9. ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.

10. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
11. AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
12. ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEEDING OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
13. THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

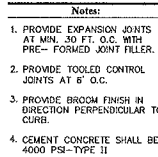
Irrigation System Modification Notes

1. THE CONTRACTOR SHALL PROVIDE COMPLETE IRRIGATION SYSTEM DESIGN AND INSTALLATION FOR MODIFICATIONS TO THE EXISTING IRRIGATION SYSTEM TO PROVIDE WATER TO THE NEW AND RECONFIGURED PLANTING AREAS. DESIGN SHALL BE CERTIFIED BY A LANDSCAPE ARCHITECT, ENGINEER, OR CERTIFIED IRRIGATION DESIGNER. DESIGN PLANS SHALL BE SUBMITTED TO OWNER FOR APPROVAL. DESIGNER SHALL OBTAIN RECORD DRAWINGS OF THE EXISTING IRRIGATION SYSTEM FROM THE OWNER.
2. THE CONTRACTOR SHALL INSPECT THE CURRENT CONDITION OF THE EXISTING IRRIGATION SYSTEM IN THE FIELD PRIOR TO BIDDING.
3. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM MODIFICATIONS.
4. CONTRACTOR SHALL PROVIDE DRAWINGS, MATERIAL SPECIFICATIONS, SCHEMATICS, AND OTHER LITERATURE AS MAY BE REQUIRED, FOR ALL CONDUIT, CONTROLS, TIMERS, VALVES, SPRINKLER HEADS, CONNECTORS, WIRING, RAIN GAUGE, ETC. TO THE OWNER'S CONSTRUCTION MANAGER FOR APPROVAL PRIOR TO INSTALLATION.
5. CONTRACTOR SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR, PLUMBING, AND ELECTRICAL CONTRACTORS.
6. SITE CONTRACTOR SHALL PROVIDE 4" SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT AREAS TO PROVIDE ACCESS FOR NEW IRRIGATION LINES TO ALL IRRIGATED AREAS.
7. CONCRETE PLANTERS SHALL BE WATERED WITH A DRIP IRRIGATION SYSTEM.

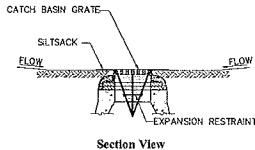
Tree Protection

1. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIFLINE PRIOR TO START OF CONSTRUCTION.
2. CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
3. DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.

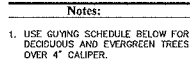
101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286



N.T.S.	Source: WHB	LD_42
--------	-------------	-------

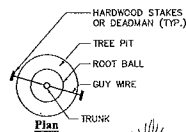
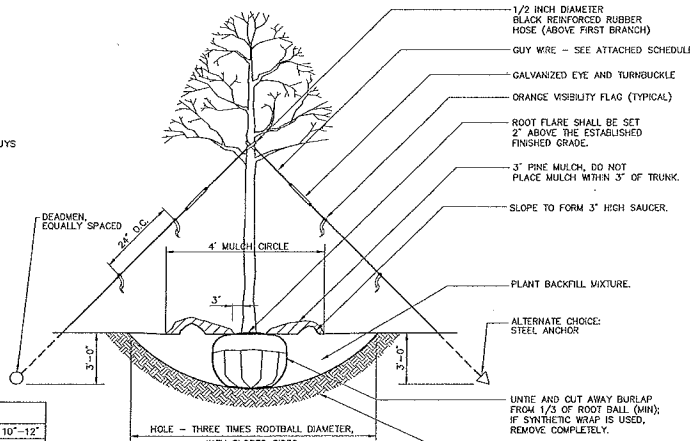


N.T.S. Source: VHS LD_674

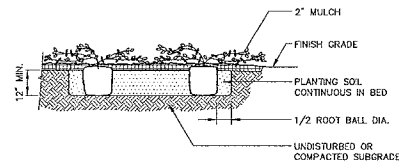


TREE CALIPER	4"-6"	6"-8"	8"-10"	10"-12"
TURNBUCKLE (GALVANIZED)	5/16" x 4-1/2"	5/16" x 4-1/2"	3/8" x 6"	1/2" x 6"
# GUYS REQ'D.	3	3	4	4
WIRE OR CABLE	1/8" DIA.	3/16" DIA.	1/4" DIA.	5/16" DIA.
DEADMAN SIZE	4" DIA.	6" DIA.	8" DIA.	10" DIA.
DEADMAN LENGTH	24'	24'	36'	48'

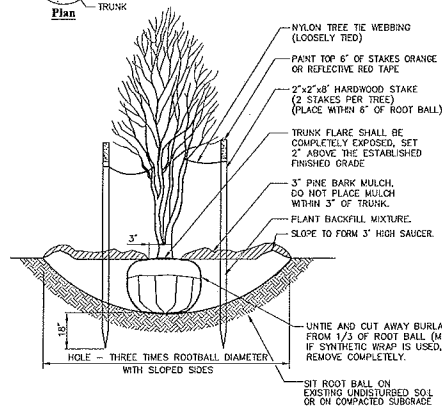
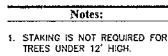
N.T.S.	Source: WHB	LD_603
--------	-------------	--------



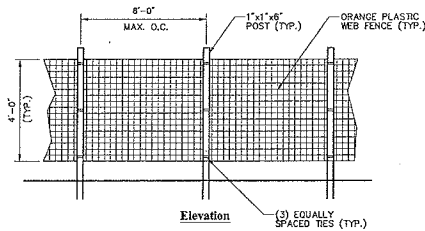
PLANT SPACING ("A")	ROW SPACING ("B")
6 IN. O.C.	5 IN. O.C.
8 IN. O.C.	7 IN. O.C.
10 IN. O.C.	8-1/2 IN. O.C.
12 IN. O.C.	10-1/2 IN. O.C.
15 IN. O.C.	13 IN. O.C.
18 IN. O.C.	16 IN. O.C.
24 IN. O.C.	21 IN. O.C.



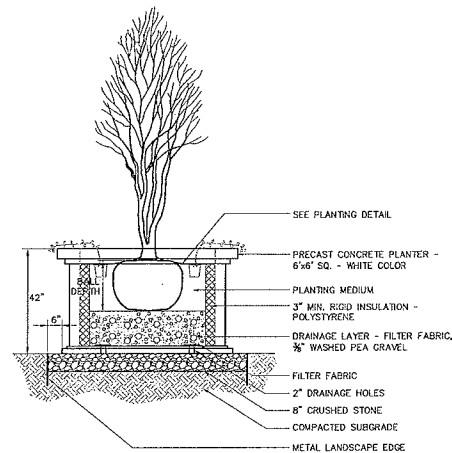
N.T.S. Source: WEB LD_615



N.T.S. Source: VHB LD_606



N.T.S.	Source: VHS	LD_610
--------	-------------	--------



N.T.S. Source: VHB LD_

[illegible]

No.	Revision	Date	Appr'd
Designed by	Drawn by MVG	Checked by	
GD&D checked by	Approved by		
Scale N.T.S.	Date November 25, 2009		
Project Title			

**Assembly on the Mystic
Marketplace Gateway
Improvements**
Assembly Square Drive
Somerville, Massachusetts

Final Level PUD Approval

Not Approved for Construction

Site Details

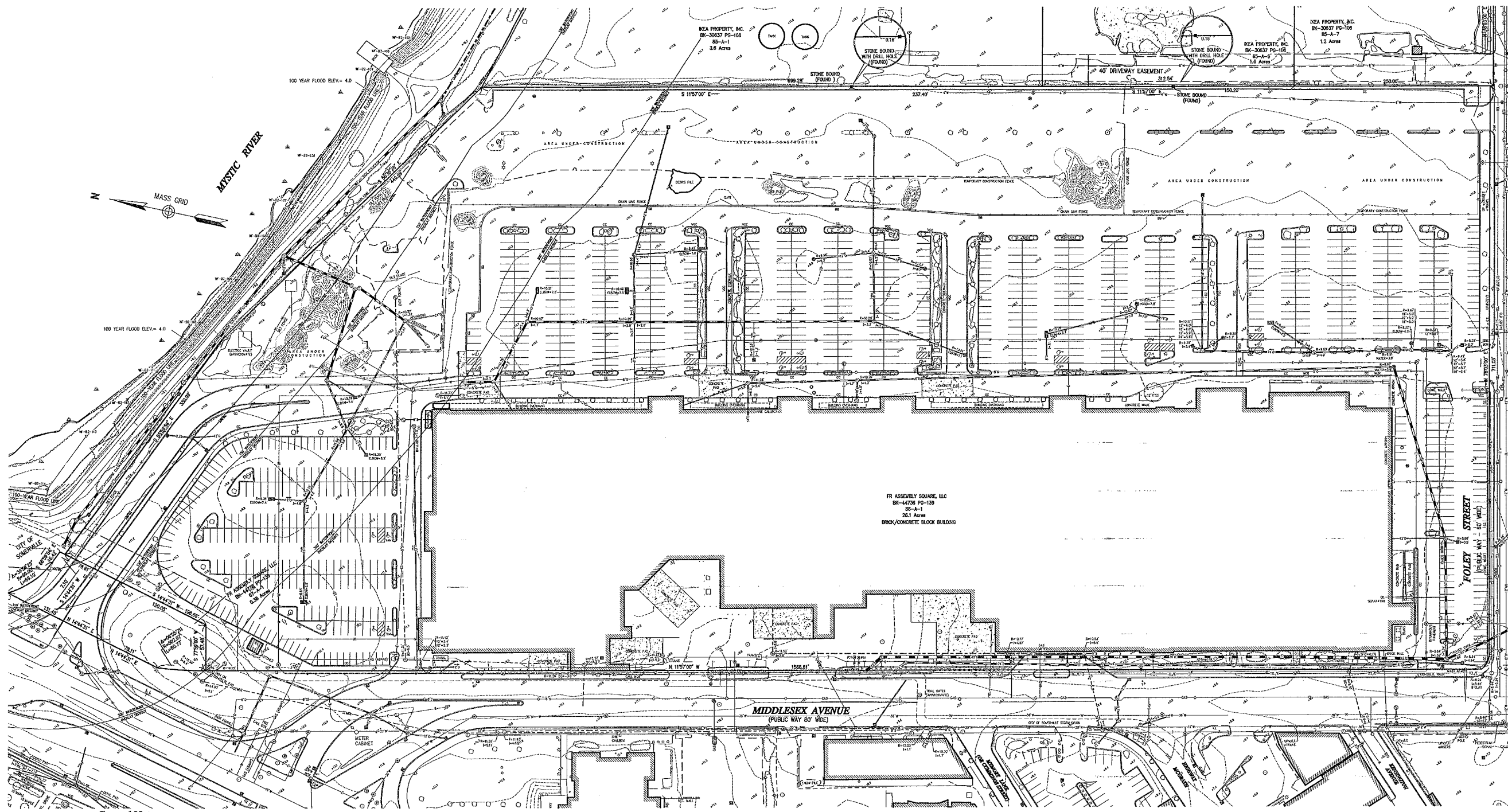


C-5

55

8.05

1205-DT.QWC



Legend

- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- HANDHOLE
- WATER GATE
- FIRE HYDRANT
- GAS GATE
- STREET SIGN
- LIGHT POLE
- UTILITY POLE
- GUY WIRE
- GUY POLE
- FIRST FLOOR ELEVATION
- MONITORING WELL
- EDGE OF PAVEMENT
- CONCRETE CURB
- VERTICAL GRANITE CURB
- SLOPED GRANITE EDGE
- BITUMINOUS BERM
- GUARD RAIL
- CHAIN LINK FENCE
- DRAINAGE LINE
- SEWER LINE
- OVERHEAD WIRE
- UNDERGROUND ELECTRIC
- TELEPHONE LINE
- GAS LINE
- WATER LINE
- STONEWALL
- TREELINE
- 100-FT BUFFER ZONE
- 100-FT RIVERFRONT AREA
- 200-FT RIVERFRONT AREA
- LIMIT MEAN ANNUAL HIGH WATER
- LIMIT OF BANK
- VEGETATED WETLAND BOUNDARY

General Notes

- 1) THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN APRIL OF 2004 AND FROM DEEDS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN WERE DEVELOPED FROM A COMBINED EFFORT OF AERIAL PHOTOGRAMMETRIC MAPPING BY COLE EAST, INC. BASED ON AERIAL PHOTOGRAPHS TAKEN ON MARCH 2006, AND AUGMENTED BY AN ON-THE-GROUND SURVEY PERFORMED BY VHB DURING APRIL 2006.
- 3) UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) ELEVATIONS SHOWN ARE BASED UPON USCS, NATIONAL GEODETIC VERTICAL DATUM OF 1929 AND WERE INITIATED AT BENCHMARK #11000, A MASSACHUSETTS GEODETIC SURVEY DISC.
- 5) THE WETLANDS SHOWN ON THIS PLAN WERE FLAGGED BY VANASSE HANGEN BRUSTLIN, INC.'S ENVIRONMENTAL GROUP AND FIELD SURVEYED BY VHB, INC. ON JUNE 22, 2004.
- 6) THE LOCUS PROPERTY LIES WITHIN ZONE C, AREA OF MINIMAL FLOODING, AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF SOMERVILLE, MASSACHUSETTS COMMUNITY PANEL NUMBER 290214 0001 B, EFFECTIVE DATE JULY 17, 1986.
- 7) THE SITE LIES IN ZONING DISTRICTS ASD40 AND W02 ZONE LINES OVERLAY DISTRICT. SHOWN WERE DETERMINED FROM INFORMATION OBTAINED FROM THE CITY OF SOMERVILLE PLANNING DEPARTMENT AND FROM THE ZONING MAP OF SOMERVILLE, MASSACHUSETTS, DATED (REVISED) MARCH 1, 2004. DIMENSIONAL REQUIREMENTS AT THE TIME OF THE SURVEY FOR THE ZONING DISTRICT SHOWN ARE:

	EXISTING	REQUIRED
MINIMUM LOT SIZE	26 ACRES	5,000 S.F.
MAXIMUM F.A.R.		1.0
TOTAL OPEN SPACE		25%
USABLE OPEN SPACE		10%
MAXIMUM BUILDING HEIGHT*		40 FEET
*BUILDING WITHIN 150' OF MYSTIC RIVER BANK		30 FEET
*BUILDING WITHIN 150'-250' OF MYSTIC RIVER BANK		40 FEET
*PARK BUILDING ONLY		40 FEET



Assembly Square

Somerville, Massachusetts

Existing Conditions
Plan of Land

